



COMHAIRLE | CLARE  
CONTAE AN CHLÁIR | COUNTY COUNCIL

**Registered Post**

**Tommy Hehir  
C/o Padraig Neylon  
PND Building Consultancy Limited  
Kilrush House, Frances Street  
Kilrush  
Co. Clare**

**12th May 2025**

**Section 5 referral Reference R25-31 – Tommy Hehir**

Is the proposed slatted house (as shown in the attached drawings) development and if so, is it exempted development?

A Chara,

I refer to your application received on 15th April 2025 under Section 5 of the Planning & Development Act 2000 (as amended) in relation to the above.

The Planning Authority has considered the matter and I attach herewith the Council's findings in this matter.

Where a declaration is issued by the Planning Authority, any person issued with a declaration, may on payment to an Bord Pleanála of the required fee, refer a declaration for review by An Bord Pleanála within 4 weeks of the date of the issuing of the declaration. Details on making such appeal are available on the Board's website at [www.pleanala.ie](http://www.pleanala.ie).

Mise, le meas

**Anne O'Gorman  
Staff Officer  
Planning Department  
Economic Development Directorate**

**An Roinn Pleanála  
An Stiúirthóireacht Forbairt Gheilleagrach**  
Áras Contae an Chláir, Bóthar Nua, Inis, Co. an Chláir, V95 DXP2

**Planning Department  
Economic Development Directorate**  
Áras Contae an Chláir, New Road, Ennis, Co. Clare, V95 DXP2



**CLARE COUNTY COUNCIL**

**SECTION 5 OF THE PLANNING AND DEVELOPMENT ACT 2000 AS AMENDED**

**DECLARATION ON DEVELOPMENT AND/OR EXEMPTED DEVELOPMENT**

Chief Executive's Order No:

85455

Reference Number:

R25-31

Date Referral Received:

15th April 2025

Name of Applicant:

Tommy Hehir

Location of works in question:

Cullenagh, Labasheeda, Co. Clare

**Section 5 referral Reference R25-31 – Tommy Hehir**

Is the proposed slatted house (as shown in the attached drawings) development and if so, is it exempted development?

**AND WHEREAS** Clare County Council, in considering this referral, had regard in particular to –

- (a) Sections 2, 3 and 4 of the Planning and Development Act, 2000, as amended,
- (b) Articles 6 and 9 of the Planning and Development Regulations 2001, as amended
- (c) Class 6 of Part 3 of Schedule 2 of the Planning and Development Regulations 2001, as amended.
- (d) The works as indicated in submitted documents from the referrer on the 15<sup>th</sup> April 2025.

**AND WHEREAS** Clare County Council has concluded:

- (a) The development of the construction of a slatted house at Cullenagh, Labasheeda, County Clare, constitutes “works” which come within the scope of section 2 (1) of the Planning and Development Act 2000, as amended
- (b) The said works constitute “development” which comes within the scope of section 3 (1) of the Planning and Development Act 2000, as amended
- (c) The said development of the construction of a slatted house at Cullenagh, Labasheeda, County Clare, is exempted development having regard to Class 6 and Class 9 of Schedule 2, Part 3 of the Planning and Development Regulations 2001, as amended.

**ORDER:** Whereas by Chief Executive's Order No. HR 46 dated 1<sup>st</sup> January 2025, Carmel Kirby, Interim Chief Executive for Clare County Council, did, pursuant to the powers conferred on her by Section 154 of the Local Government Act 2001, delegate to Garreth Ruane, Senior Executive Planner, the powers, functions and duties as set out herein,

**NOW THEREFORE** pursuant to the delegation of the said powers, functions and duties and under Section 5(2)(a) of the Planning & Development Act 2000 (as amended) and having considered the various submissions and reports in connection with

the referral described above, I, Garreth Ruane, Senior Executive Planner, hereby declare that the construction of a slatted house at Cullenagh, Labasheeda, Co. Clare is considered development which is exempted development.

Signed:

  
\_\_\_\_\_  
GARRETH RUANE  
SENIOR EXECUTIVE PLANNER 

Date:

12th May 2025

**DECLARATION ISSUED UNDER SECTION 5 OF THE  
PLANNING & DEVELOPMENT ACT 2000 (AS AMENDED)**

**Reference No.: R25-31**



**Comhairle Contae an Chláir  
Clare County Council**

**Section 5 referral Reference R25-31**

**Is the proposed slatted house (as shown in the attached drawings) development and if so, is it exempted development?**

**AND WHEREAS, Tommy Hehir** has requested a declaration from Clare County Council on the said question.

**AND WHEREAS Clare County Council, in considering this referral, had regard in particular to –**

- (a) Sections 2, 3 and 4 of the Planning and Development Act, 2000, as amended,
- (b) Articles 6 and 9 of the Planning and Development Regulations 2001, as amended,
- (c) Class 6 of Part 3 of Schedule 2 of the Planning and Development Regulations 2001, as amended.
- (d) The works as indicated in submitted documents from the referrer on the 15<sup>th</sup> April 2025.

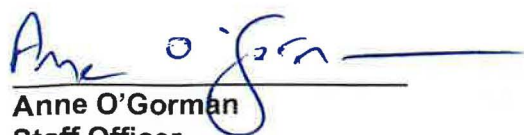
**And whereas Clare County Council has concluded:**

- (a) The development of the construction of a slatted house at Cullenagh, Labasheeda, County Clare, constitutes “works” which come within the scope of section 2 (1) of the Planning and Development Act 2000, as amended
- (b) The said works constitute “development” which comes within the scope of section 3 (1) of the Planning and Development Act 2000, as amended
- (c) The said development of the construction of a slatted house at Cullenagh, Labasheeda, County Clare, is exempted development having regard to Class 6 and Class 9 of Schedule 2, Part 3 of the Planning and Development Regulations 2001, as amended.

**THEREFORE:** The Planning Authority in exercise of the powers conferred on it by Section 5 of the Planning and Development Act, 2000 (as amended), hereby decides that:

The proposed development consisting of the construction of a slatted house at Cullenagh, Labasheeda, Co. Clare constitutes development which is exempted development as defined within the Planning & Development Acts, 2000 (as amended) and associated regulations.



A handwritten signature in blue ink, appearing to read 'Anne O'Gorman', is written over a horizontal line.

Anne O'Gorman  
Staff Officer  
Planning Department  
Economic Development Directorate

12th May 2025

**CLARE COUNTY COUNCIL**  
**SECTION 5 DECLARATION OF EXEMPTION APPLICATION**  
**PLANNERS REPORT 1**

<b>FILE REF:</b>	R25-31
<b>APPLICANT(S):</b>	Tommy Hehir
<b>REFERENCE:</b>	Whether the construction of a slatted house at Cullenagh, Labasheeda, County Clare is not development and is or is not exempted development.
<b>LOCATION:</b>	Cullenagh, Labasheeda, County Clare
<b>DUE DATE:</b>	12 <sup>th</sup> May 2025

**Site Location**

The proposal site is located in the rural townland of Cullenagh which is to the north of the village of Labasheeda. The site is approximately 280 metres north of the LP2064 local primary road and 140 metres from the village boundary. It is accessed via an existing farm road/track. The site comprises the south western corner of a larger agricultural field. The levels across the field and the wider receiving landscape rise gradually in a north easterly direction. The main views towards the site are local range views from the road to the south east and the higher ground to the south west. I inspected the site on the 07<sup>th</sup> May 2025.

**Recent Planning History**

Onsite

None.

South East

21-409 – Granted - Tommy Hehir – Retention permission for a machinery/storage shed & planning permission to construct a slatted shed incorporating a calf creep along with all associated work.

**Background to Referral**

This Referral under Section 5(3)(a) of the Planning and Development Act 2000 (as amended) has been made by Tommy Hehir who states that he is seeking a Section 5 Declaration as to whether the construction of a slatted house at Cullenagh, Labasheeda, County Clare is not development and is or is not exempted development.

**Statutory Provisions**

Planning and Development Act, 2000 (as amended)

In order to assess this proposal, regard has to be had to the *Planning and Development Act 2000, as amended*.

S.3.(1) In this Act, “development” means, except where the context otherwise requires, **the carrying out of any works on, in, over or under land** or the making of any material change in the use of any structures or other land.

‘Works’ are defined in Section 2 of the *Planning and Development Act 2000, as amended* as follows:

*“works” includes any act or operation of construction, excavation, demolition, extension, alteration, repair or renewal and, in relation to a protected structure or proposed protected structure, includes any act or operation involving the application or removal of plaster, paint, wallpaper, tiles or other material to or from the surfaces of the interior or exterior of a structure.*

Planning & Development Regulations, 2001, as amended

Article 6 refers to Exempted Development and states that subject to Article 9, development of a class specified in column 1 of Part 3 of Schedule 2 shall be exempted development for the purposes of the Act, provided that such development complies with the conditions and limitations specified in column 2 of the said Part 3 opposite the mention of that class in the said column 1.

Planning and Development Regulations 2001 (as amended) Schedule 2, Part 3, Class 6

*Works consisting of the provision of a roofed structure for the housing of cattle, sheep, goats, donkeys, horses, deer or rabbits, having a gross floor space not exceeding 200 square metres (whether or not by extension of an existing structure), and any ancillary provision for effluent storage.*

- 1. No such structure shall be used for any purpose other than the purpose of agriculture.*
- 2. The gross floor space of such structure together with any other such structures situated within the same farmyard complex or within 100 metres of that complex shall not exceed 300 square metres gross floor space in aggregate.*
- 3. Effluent storage facilities adequate to serve the structure having regard to its size, use and location shall be constructed in line with Department of Agriculture, Food and Rural Development and Department of the Environment and Local Government requirements and shall have regard to the need to avoid water pollution*
- 4. No such structure shall be situated, and no effluent from such structure shall be stored, within 10 metres of any public road.*
- 5. No such structure within 100 metres of any public road shall exceed 8 metres in height.*
- 6. No such structure shall be situated, and no effluent from such structure shall be stored, within 100 metres of any house (other than the house of the person providing the structure) or other residential building or school, hospital, church or*

*building used for public assembly, save with the consent in writing of the owner and, as may be appropriate, the occupier or person in charge thereof.*

7. *No unpainted metal sheeting shall be used for roofing or on the external finish of the structure.*

Under Article 9 (1) of the same Regulations, development to which Article 6 relates shall not be exempted development for the purposes of the Act:

*(a) if the carrying out of such development would –*

*(i) contravene a condition attached to a permission under the Act or be inconsistent with any use specified in a permission under the Act*

*(ii) consist of or compromise the formation, laying out or material widening of a means of access to a public road the surfaced carriageway of which exceeds 4 metres in width,*

*(iii) endanger public safety by reason of traffic hazard or obstruction of road users,*

*(iii)(a) endanger public safety by reason of hazardous glint and/or glare for the operation of airports, aerodromes or aircraft,*

*(iv) interfere with the character of a landscape, or a view or prospect of special amenity value or special interest, the preservation of which is an objective of a development plan for the area in which the development is proposed or, pending the variation of a development plan or the making of a new development plan, in the draft variation of the development plan or the draft development plan.*

*(vii) consist of or comprise the excavation, alteration or demolition (other than peat extraction) of places, caves, sites, features or other objects of archaeological, geological, historical, scientific or ecological interest, the preservation, conservation or protection of which is an objective of a development plan or local area plan for the area in which the development is proposed or, pending the variation of a development plan or local area plan, or the making of a new development plan or local area plan, in the draft variation of the development plan or the local area plan or the draft development plan or draft local area plan,*

*(viiA) consist of or comprise the excavation, alteration or demolition of any archaeological monument included in the Record of Monuments and Places, pursuant to section 12(1) of the National Monuments (Amendment) Act 1994, save that this provision shall not apply to any excavation or any works, pursuant to and in accordance with a consent granted under section 14 or a licence granted under section 26 of the National Monuments Act 1930 (No. 2 of 1930) as amended,*

*(viiB) comprise development in relation to which a planning authority or An Bord Pleanála is the competent authority in relation to appropriate assessment and the development would require an appropriate assessment because it would be likely to have a significant effect on the integrity of a European site,*

*(viiC) consist of or comprise development which would be likely to have an adverse impact on an area designated as a natural heritage area by order made under section 18 of the Wildlife (Amendment) Act 2000."*

*(viii) consist of or comprise the extension, alteration, repair or renewal of an unauthorised structure or a structure the use of which is an unauthorised use,*



(ix) consist of the demolition or such alteration of a building or other structure as would preclude or restrict the continuance of an existing use of a building or other structure where it is an objective of the planning authority to ensure that the building or other structure would remain available for such use and such objective has been specified in a development plan for the area or, pending the variation of a development plan or the making of a new development plan, in the draft variation of the development plan or the draft development plan,

(x) consist of the fencing or enclosure of any land habitually open to or used by the public during the 10 years preceding such fencing or enclosure for recreational purposes or as a means of access to any seashore, mountain, lakeshore, riverbank or other place of natural beauty or recreational utility,

(xi) obstruct any public right of way,

(xii) further to the provisions of section 82 of the Act, consist of or comprise the carrying out of works to the exterior of a structure, where the structure concerned is located within an architectural conservation area or an area specified as an architectural conservation area in a development plan for the area or, pending the variation of a development plan or the making of a new development plan, in the draft variation of the development plan or the draft development plan and the development would materially affect the character of the area.

## Assessment

### Basis of Referral

The applicant is seeking a Section 5 Declaration as to whether the construction of a slatted house at Cullenagh, Labasheeda, County Clare is not development and is or is not exempted development.

### Particulars of Proposal

The particulars of the proposal and site are set out below:

#### Proposed Slatted Shed

- |                           |                         |
|---------------------------|-------------------------|
| • Height                  | 6.925 metres            |
| • Proposed Floor Area     | 140 sqm                 |
| • Proposed Storage Volume | 155 cbm                 |
| • Distance from road      | Greater than 10 metres  |
| • Distance from dwellings | Greater than 100 metres |

### Planning and Development Regulations 2001 (as amended) Schedule 2, Part 3, Class 6

*Works consisting of the provision of a roofed structure for the housing of cattle, sheep, goats, donkeys, horses, deer or rabbits, having a gross floor space not exceeding 200 square metres (whether or not by extension of an existing structure), and any ancillary provision for effluent storage.*

It is proposed that the structure will be used as a slatted shed for the housing of cattle.

- 1. No such structure shall be used for any purpose other than the purpose of agriculture.*

The use proposed is agricultural.

- 2. The gross floor space of such structure together with any other such structures situated within the same farmyard complex or within 100 metres of that complex shall not exceed 300 square metres gross floor space in aggregate.*

The 300 sqm threshold is not exceeded in this instance.

- 3. Effluent storage facilities adequate to serve the structure having regard to its size, use and location shall be constructed in line with Department of Agriculture, Food and Rural Development and Department of the Environment and Local Government requirements and shall have regard to the need to avoid water pollution.*

Details of the proposed tanks are set out in the drawings submitted. The slatted tank must be in line with standards as set by the Department of Agriculture, Food and Rural Development and Department of the Environment and Local Government. I note that the development as proposed is in lieu of the slatted shed as granted under P21-409. This shed is smaller than what was previously permitted.

- 4. No such structure shall be situated, and no effluent from such structure shall be stored, within 10 metres of any public road.*

The proposed development is in excess of 10 metres from the public road.

- 5. No such structure within 100 metres of any public road shall exceed 8 metres in height.*

This height threshold is not exceeded in this instance.

- 6. No such structure shall be situated, and no effluent from such structure shall be stored, within 100 metres of any house (other than the house of the person providing the structure) or other residential building or school, hospital, church or building used for public assembly, save with the consent in writing of the owner and, as may be appropriate, the occupier or person in charge thereof.*

The proposed development would not be within 100 metres of existing dwellings.

- 7. No unpainted metal sheeting shall be used for roofing or on the external finish of the structure.*

Standard agricultural cladding proposed.

Article 9 of the Planning and Development Regulations 2001, as amended

Article 9 of the Planning and Development Regulations 2001, as amended outlines restrictions on exempted development, and these are assessed below:

(a) *if the carrying out of such development would –*

- (i) *contravene a condition attached to a permission under the Act or be inconsistent with any use specified in a permission under the Act*

Not applicable.

- (ii) *consist of or compromise the formation, laying out or material widening of a means of access to a public road the surfaced carriageway of which exceeds 4 metres in width,*

Not applicable.

- (iii) *endanger public safety by reason of traffic hazard or obstruction of road users,*

Site is served by an existing agricultural access point.

- (iii)(a) *endanger public safety by reason of hazardous glint and/or glare for the operation of airports, aerodromes or aircraft,*

Standard agricultural cladding proposed.

- (iv) *interfere with the character of a landscape, or a view or prospect of special amenity value or special interest, the preservation of which is an objective of a development plan for the area in which the development is proposed or, pending the variation of a development plan or the making of a new development plan, in the draft variation of the development plan or the draft development plan.*

This site is located within the Shannon Estuary Working Landscape. Having regard to the nature of the proposed development, that nature of the proposal site and its receiving environs, and the views available towards the site I consider that development proposed would not interfere with the character of the landscape or views in the area.

- (vii) *consist of or comprise the excavation, alteration or demolition (other than peat extraction) of places, caves, sites, features or other objects of archaeological, geological, historical, scientific or ecological interest, the preservation, conservation or protection of which is an objective of a development plan or local area plan for the area in which the development is proposed or, pending the variation of a development plan or local area plan, or the making of a new development plan or local area plan, in the draft variation of*

*the development plan or the local area plan or the draft development plan or draft local area plan,*

Not applicable. The site is outside of the zone of archeological potential associated with the recorded monument to the south.

*(viiA) consist of or comprise the excavation, alteration or demolition of any archaeological monument included in the Record of Monuments and Places, pursuant to section 12(1) of the National Monuments (Amendment) Act 1994, save that this provision shall not apply to any excavation or any works, pursuant to and in accordance with a consent granted under section 14 or a licence granted under section 26 of the National Monuments Act 1930 (No. 2 of 1930) as amended,*

Not applicable. The site is outside of the zone of archeological potential associated with the recorded monument to the south.

*(viiB) comprise development in relation to which a planning authority or An Bord Pleanála is the competent authority in relation to appropriate assessment and the development would require an appropriate assessment because it would be likely to have a significant effect on the integrity of a European site,*

The proposal site is approximately 300 metres from the Lower River Shannon SAC and the River Shannon and River Fergus Estuaries SPA. There is a watercourse to the west of the site on lower ground that flows into the Shannon Estuary. Whilst the shed as proposed has been reduced in size and relocated from that as permitted under P21-409, the overall extent of the landholding maps remain unchanged. The previous planning application was subject to an AA Screening exercise carried out in light of a further information request. This concluded that significant effects on the European Site network can be excluded. The only differences between said application and the current proposal is that the shed is now smaller and it has been relocated further north.

Having regard to the nature and scale of the proposed development and the absence of proximity or connectivity to a European Site, no Appropriate Assessment issues arise and I do not consider that the proposed development would be likely to have a significant effect individually or in combination with other plans or projects, on a European Site. An appropriate assessment screening report and determination is attached to this report.

*(viiC) consist of or comprise development which would be likely to have an adverse impact on an area designated as a natural heritage area by order made under section 18 of the Wildlife (Amendment) Act 2000."*

The proposed development would not be likely to have an adverse impact on an area designated as a natural heritage area.

*(viii) consist of or comprise the extension, alteration, repair or renewal of an unauthorised structure or a structure the use of which is an unauthorised use,*



Not applicable.

*(ix) consist of the demolition or such alteration of a building or other structure as would preclude or restrict the continuance of an existing use of a building or other structure where it is an objective of the planning authority to ensure that the building or other structure would remain available for such use and such objective has been specified in a development plan for the area or, pending the variation of a development plan or the making of a new development plan, in the draft variation of the development plan or the draft development plan,*

Not applicable.

*(x) consist of the fencing or enclosure of any land habitually open to or used by the public during the 10 years preceding such fencing or enclosure for recreational purposes or as a means of access to any seashore, mountain, lakeshore, riverbank or other place of natural beauty or recreational utility,*

Not applicable.

*(xi) obstruct any public right of way,*

Not applicable.

*(xii) further to the provisions of section 82 of the Act, consist of or comprise the carrying out of works to the exterior of a structure, where the structure concerned is located within an architectural conservation area or an area specified as an architectural conservation area in a development plan for the area or, pending the variation of a development plan or the making of a new development plan, in the draft variation of the development plan or the draft development plan and the development would materially affect the character of the area.*

Not applicable.

### **Conclusion**

Having regard to the above it is considered that the construction of a slatted house at Cullenagh, Labasheeda, County Clare constitutes both 'works' and 'development'. However, regard has also been had to Class 6 of Part 3 of Schedule 2 of the Planning and Development Regulations 2001, as amended and the proposal is development that is exempted development.

<b>Recommendation</b>
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**The following question has been referred to the Planning Authority:**

Whether the construction of a slatted house at Cullenagh, Labasheeda, County Clare is not development and is or is not exempted development.

**The Planning Authority in considering this referral had regard to:**

- (a) Sections 2, 3 and 4 of the Planning and Development Act, 2000, as amended,
- (b) Articles 6 and 9 of the Planning and Development Regulations 2001, as amended
- (c) Class 6 of Part 3 of Schedule 2 of the Planning and Development Regulations 2001, as amended.
- (d) The works as indicated in submitted documents from the referrer on the 15<sup>TH</sup> April 2025.

And whereas Clare County Council (Planning Authority) has concluded:

- (a) the development of the construction of a slatted house at Cullenagh, Labasheeda, County Clare, constitutes "*works*" which come within the scope of section 2 (1) of the Planning and Development Act 2000, as amended
- (b) the said works constitute "*development*" which comes within the scope of section 3 (1) of the Planning and Development Act 2000, as amended
- (c) the said development of the construction of a slatted house at Cullenagh, Labasheeda, County Clare, is exempted development having regard to Class 6 and Class 9 of Schedule 2, Part 3 of the Planning and Development Regulations 2001, as amended.

Now therefore Clare County Council (Planning Authority) hereby decides that the construction of a slatted house at Cullenagh, Labasheeda, County Clare, is development and is exempted development.

  
Executive Planner  
Date: 09<sup>th</sup> May 2025

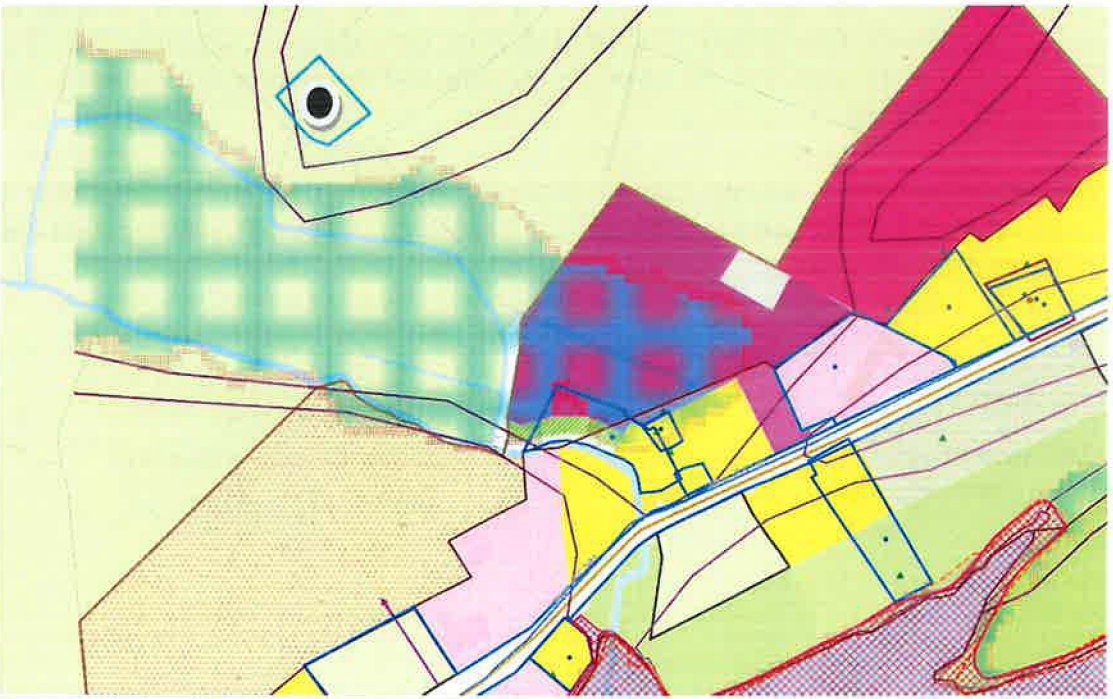
  
Senior Executive Planner  
Date: 09/05/25

## Clare County Council

### Screening for Appropriate Assessment & Determination

1. Table 1 to be filled in for all development applications.
2. Where proposed development is within a European site(s) site, go directly to table 3.
3. For all other development proposals, fill in table 2, and if required, table 3.
4. A Habitats Directive Screening Statement should be sought for all developments regardless of location which require an EIS

**Table 1: Project Details**

<b>Planning File Reference</b>	R25-31
<b>Applicant Name</b>	Tommy Hehir
<b>Development Location</b>	Cullenagh Labasheeda Co Clare
<b>Application accompanied by an EIS</b>	No
<b>Application accompanied by an NIS</b>	No
<b>Description of the project (To include a site location map):</b>	
Slatted shed	
	

**Table 2: Identification of European sites which may be impacted by the proposed development.**

This section identifies the European Sites within the likely zone of impact of the plan or project. For plans an initial 15km zone of influence (NPWS-DAHG)<sup>1</sup> is recommended. For projects, the distance could be much less than 15km, and in some cases less than 100m, but this must be evaluated on a case-by-case basis with reference to the nature, size and location of the project, and the sensitivities of the ecological receptors, and the potential for in combination effects. Qualifying Interests/Special conservation Interests for each site and the distance relevant to the proposal are listed (Table 2 (a)).

**Table 2 (a): European Sites within 15km of Applicant Site**

European Sites <sup>2</sup>	Qualifying Interests (QIs)/Special Conservation Interests (SCIs) and conservation objectives (either generic or detailed) (available on <a href="http://www.npws.ie/protectedsites">www.npws.ie/protectedsites</a> ) or through Intranet.	Distance to Applicant Site (km)
Lower River Shannon SAC	Sandbanks which are slightly covered by sea water all the time [1110] Estuaries [1130] Mudflats and sandflats not covered by seawater at low tide [1140] Coastal lagoons [1150] Large shallow inlets and bays [1160] Reefs [1170] Perennial vegetation of stony banks [1220] Vegetated sea cliffs of the Atlantic and Baltic coasts [1230] Salicornia and other annuals colonising mud and sand [1310] Atlantic salt meadows ( <i>Glaucopuccinellietalia maritima</i> ) [1330] Mediterranean salt meadows ( <i>Juncetalia maritimi</i> ) [1410] Water courses of plain to montane levels with the <i>Ranunculus fluitans</i> and <i>Callitriche-Batrachium</i> vegetation [3260] Molinia meadows on calcareous, peaty or clayey-silt-laden soils ( <i>Molinia caerulea</i> ) [6410] Alluvial forests with <i>Alnus glutinosa</i> and <i>Fraxinus excelsior</i> ( <i>Alno-Padion</i> , <i>Alnus incana</i> , <i>Salix alba</i> ) [91E0] <i>Margaritifera margaritifera</i> (Freshwater Pearl	0.3

<sup>1</sup> European Sites that are more than 15km from the proposal may have to be considered. For example in the case of sites with water dependent habitats or species and where a proposal could affect water quality or quantity it may be necessary to consider the full extent of the upstream and/or downstream catchment.

<sup>2</sup> European Site details are available on <http://webgis.npws.ie/npwsviewer/> or maybe obtained from internal mapping systems.



European Sites <sup>2</sup>	Qualifying Interests (QIs)/Special Conservation Interests (SCIs) and conservation objectives (either generic or detailed) (available on <a href="http://www.npws.ie/protectedsites">www.npws.ie/protectedsites</a> ) or through Intranet.	Distance to Applicant Site (km)
	Mussel) [1029] Petromyzon marinus (Sea Lamprey) [1095] Lampetra planeri (Brook Lamprey) [1096] Lampetra fluviatilis (River Lamprey) [1099] Salmo salar (Salmon) [1106] Tursiops truncatus (Common Bottlenose Dolphin) [1349] Lutra lutra (Otter) [1355]	
River Shannon & River Fergus Estuaries SPA	Cormorant (Phalacrocorax carbo) [A017] Whooper Swan (Cygnus cygnus) [A038] Light-bellied Brent Goose (Branta bernicla hrota) [A046] Shelduck (Tadorna tadorna) [A048] Wigeon (Anas penelope) [A050] Teal (Anas crecca) [A052] Pintail (Anas acuta) [A054] Shoveler (Anas clypeata) [A056] Scaup (Aythya marila) [A062] Ringed Plover (Charadrius hiaticula) [A137] Golden Plover (Pluvialis apricaria) [A140] Grey Plover (Pluvialis squatarola) [A141] Lapwing (Vanellus vanellus) [A142] Knot (Calidris canutus) [A143] Dunlin (Calidris alpina) [A149] Black-tailed Godwit (Limosa limosa) [A156] Bar-tailed Godwit (Limosa lapponica) [A157] Curlew (Numenius arquata) [A160] Redshank (Tringa totanus) [A162] Greenshank (Tringa nebularia) [A164] Black-headed Gull (Chroicocephalus ridibundus) [A179] Wetland and Waterbirds [A999]	0.3

1	<b>Impacts on designated rivers, streams, lakes and fresh water dependant habitats and species.</b>	<i>Is the development in the catchment of or immediately upstream of a watercourse that has been designated as a European site?</i>	Yes
2	<b>Impacts on terrestrial habitats and species.</b>	<i>Is the development within 1km of a European site with terrestrial based habitats or species?</i>	Yes
3	<b>Impacts on designated marine habitats and species.</b>	<i>Is the development located within marine or intertidal areas and within 5 km of a European site whose qualifying habitats or species include the following: Mudflats, sandflats, saltmarsh, shingle, reefs, sea cliffs</i>	No
4	<b>Impacts on birds in SPAs</b>	<i>Is the development within 1km of a Special Protection Area</i>	Yes
5	<b>Indirect effects</b>	<i>Is the development, in combination with other existing or proposed developments likely to impact on an adjacent European site? Is any emission from the development (including noise) likely to impact on an adjacent habitat or species?</i>	No impacts envisaged

Appropriate Assessment Screening Determination	
Planning File Reference	R25-31
Proposed Development	Slatted shed
Development Location	Cullenagh Labasheeda
European sites within impact zone	As per report
Description of the project	
Slatted shed	
Qualifying Interests (QIs)/Special Conservation Interests (SCIs) of European site	
As per report	
Describe how the project or plan (alone or in combination) is likely to affect the European site(s).	
Water quality & general disturbance	
If there are potential negative impacts, explain whether you consider if these are likely to be significant, and if not, why not?	
<p>The proposal site is approximately 300 metres from the Lower River Shannon SAC and the River Shannon and River Fergus Estuaries SPA. There is a watercourse to the west of the site on lower ground that flows into the Shannon Estuary. Whilst the shed as proposed has been reduced in size and relocated from that as permitted under P21-409, the overall extent of the landholding maps remain unchanged. The previous planning application was subject to an AA Screening exercise carried out in light of a further information request. This concluded that significant effects on the European Site network can be excluded. The only differences between said application and the current proposal is that the shed is now smaller and it has been relocated further north.</p> <p>Having regard to the nature and scale of the proposed development and the absence of proximity or connectivity to a European Site, no Appropriate Assessment issues arise and I do not consider that the proposed development would be likely to have a significant effect individually or in combination with other plans or projects, on a European Site.</p>	
Documentation reviewed for making this statement	
NPWS website Plans and particulars received GIS mapping database	
Conclusion of assessment (a, b, c or d)	
(a) The proposed development is directly connected with or necessary to the nature conservation management of a European Site(s) <sup>3</sup>	No
(b) There is no potential for significant effects to European Sites <sup>3</sup>	Yes

<sup>3</sup> Appropriate Assessment is not required and therefore Planning permission may be granted at this stage subject to all other planning considerations. However, no changes may be made to the proposed development after this conclusion has been reached as this would invalidate the findings of the screening exercise.

<b>(c) The potential for significant effects to European Site(s) cannot be ruled out<sup>4</sup></b>	No
<b>(d) Significant effects to European sites are certain or likely or where potential for significant effects to European sites remains following receipt of Further Information requested under S177U of the Planning and Development (Amendment) Act 2010<sup>5</sup></b>	No
<b>Completed By</b>	John O'Sullivan
<b>Date</b>	09 <sup>th</sup> May 2025

<sup>4</sup> In accordance with S177U of the Planning and Development (Amendment) Act 2010, the applicant should be requested to submit an 'Appropriate Assessment Screening Matrix' completed by a suitably qualified ecologist, by way of Further Information. Following receipt of this information a new Appropriate Screening Report should be completed. The requested 'Appropriate Assessment Screening Matrix' should be in accordance with the template outlined in Annex 2, Figure 1 of the EU (2001) guidance document 'Assessment of plans and projects significantly affecting European Sites – Methodological guidance on the provisions of Article 6(3) and (4) of the Habitats Directive 92/43/EEC. This guidance document is available from [http://ec.europa.eu/environment/nature/natura2000/management/docs/art6/natura\\_2000\\_assess\\_en.pdf](http://ec.europa.eu/environment/nature/natura2000/management/docs/art6/natura_2000_assess_en.pdf)

Alternatively, where other planning concerns arise the proposal could be refused planning permission.

<sup>5</sup> The proposed development must either by refused planning permission or alternatively an 'Appropriate Assessment' (AA) should be carried out by the Planning Authority. In order to facilitate the preparation of an AA the applicant should be requested to submit a Natura Impact Statement (NIS) in accordance with S177 (T) of the Planning and Development (Amendment) Act 2010. However, in the case of an application to retain unauthorised development of land and where the authority decides that an 'appropriate assessment' should have been carried out prior to the commencement of development, the application is required to be invalidated by the Planning Authority as per S34 (12) of the Planning and Development (Amendment) Act 2010 and accordingly an NIS should not be requested in such instances.



















COMHAIRLE | CLARE  
CONTAE AN CHLÁIR | COUNTY COUNCIL

Tommy Hehir  
C/o Padraig Neylon  
PND Building Consultancy Limited  
Kilrush House, Frances Street  
Kilrush  
Co. Clare

16/04/2025

**Section 5 referral Reference R25-31 – Tommy Hehir**

Is the proposed slated house (as shown in the attached drawings) development and if so, is it exempted development?

A Chara,

I refer to your application received on 15th April 2025 under Section 5 of the Planning & Development Act 2000 (as amended) in relation to the above.

Please note that the Planning Authority is considering the matter and a reply will issue to you in due course.

Mise, le meas

  
Brian Fahy  
Planning Department  
Economic Development Directorate

An Roinn Pleanála  
An Stiúrthóireacht Forbairt Gheilleagrach

Áras Contae an Chláir, Bóthar Nua, Inis, Co. an Chláir, V95 DXP2

Planning Department  
Economic Development Directorate

Áras Contae an Chláir, New Road, Ennis, Co. Clare, V95 DXP2



Clare County Council  
Aras Contae an Chláir  
New Road  
Ennis  
Co Clare

15/04/2025 11:51:10

Receipt No. : L1CASH/0/377808  
\*\*\*\*\* REPRINT \*\*\*\*\*

TOMMY HEHIR  
C/O PADRAIG NEYLON  
PND BUILDING CONSULTANCY LTD.,  
KILRUSH, CO. CLARE  
REF: R25-31

SECTION 5 REFERENCES 80.00  
GOODS 80.00  
VAT Exempt/Non-vatable

Total : 80.00 EUR

Tendered :  
CREDIT CARDS 80.00

Change : 0.00

Issued By : L1CASH - Noelette Barry  
From : MAIN CASH OFFICE LODGEMENT AF  
Vat reg No.0033043E



R25-31

PL041

P07

**CLARE COUNTY COUNCIL  
COMHAIRLE CONTAE AN CHLÁIR**

Planning Department,  
Economic Development Directorate,  
Clare County Council,  
New Road, Ennis,  
Co. Clare.  
V95DXP2

Telephone No. (065) 6821616  
Fax No. (065) 6892071  
Email: [planoff@clarecoco.ie](mailto:planoff@clarecoco.ie)  
Website: [www.clarecoco.ie](http://www.clarecoco.ie)



R25-31



**REQUEST FOR A DECLARATION ON DEVELOPMENT AND EXEMPTED DEVELOPMENT  
(Section 5 of the Planning & Development Act 2000 (as amended))**

**FEE: €80**

*This following form is a non-statutory form which has been prepared by Clare County Council for the purpose of obtaining the necessary information required for a declaration to be made under Section 5 by the Planning Authority*

**1. CORRESPONDENCE DETAILS.**

(a) Name and Address of person seeking the declaration	Tommy Hehir, Cullenagh, Labasheeda, Kilrush, Co. Clare.
Eircode	N/a
(b) Telephone No.:	087 976 5225
(c) Email Address:	N/a
(d) Agent's Name and address:	Note: All <u>Correspondence</u> to be <b>sent</b> to the below address -  Padraig Neylon, PND Building Consultancy Limited, Kilrush House, Frances Street, Kilrush, Co. Clare.

## 2. DETAILS REGARDING DECLARATION BEING SOUGHT

(a) PLEASE STATE THE SPECIFIC QUESTION FOR WHICH A DECLARATION IS SOUGHT

*Note: only works listed and described under this section will be assessed.*

**Sample Question:** *Is the construction of a shed at 1 Main St., Ennis development and if so is it exempted development?*

Is the proposed slatted house (as shown in the attached drawings) an exempted development?

(b) Provide a full description of the question/matter/subject which arises wherein a declaration of the question is sought.

The applicant wishes to construct a slatted house incorporating a calf creep along with all associated works.

Please Note:

A slatted house was approved under planning reference number P21 409 (over 200m to the south east of this proposed slatted house). During excavation works for the underground tank it was discovered that ground conditions were not suitable/stable for the construction of the proposed agricultural building. Therefore this proposed relocation on more suitable ground is the preferred option.

(c) List of plans, drawings etc. submitted with this request for a declaration:

*(Note: Please provide a site location map to a scale of not less than 1:2500 based on Ordnance Survey map for the areas, to identify the lands in question)*

Drawings (1/100) – Proposed Slatted House Drawings

Drawings (1/500 & 1/1,250) – Proposed Site Layout Plans

Site Location Maps (1/2,500 & 1/10,560)

3. DETAILS RE: PROPERTY/SITE/BUILDING FOR WHICH DECLARATION IS SOUGHT	
(a) Postal Address of the Property/Site/Building for which the declaration sought:	Cullenagh, Labasheeda, Kilrush, Co. Clare.
(b) Do the works in question affect a Protected Structure or are within the curtilage of a Protected Structure? If yes, has a Declaration under Section 57 of the Planning & Development Act 2000 (as amended) been requested or issued for the property by the Planning Authority?	No
(c) Legal interest in the land or structure in question of the person requesting the declaration (Give Details):	The applicant is the owner.
(d) If the person in (c) above is not the owner and/or occupier, state the name and address of the owner of the property in question:  <i>Note: Observations in relation to a referral may be requested from the owner/occupier where appropriate.</i>	N/a
(e) Is the owner aware of the current request for a Declaration under Section 5 of the Planning & Development Act 2000 (as amended)?:	Yes
(f) Are you aware of any enforcement proceedings connected to this site? <i>If so please supply details:</i>	No
(g) Were there previous planning application/s on this site? <i>If so please supply details:</i>	N/a
(h) Date on which 'works' in question were completed/are likely to take place:	The works will take place pending the outcome of this application.

SIGNED:



Agent on behalf of Tommy Hehir

DATE: 07 / 05 / 2025

### **GUIDANCE NOTES**

*This following are non-statutory advice notes prepared by Clare County Council for the purpose of advising people what information is required for a decision to be made under Section 5 by the Planning Authority*

- (i) The request for a declaration under Section 5 must be accompanied by 2 copies of site location map based on the Ordnance Survey map for the area of a scale not less than 1:1000 in urban areas and 1:2500 in rural areas and should clearly identify the site in question.
- (ii) The request for a declaration under Section 5 must be accompanied by the required fee of €80.00.
- (iii) If submitting any additional plans/reports etc. as part of the request for a declaration, please submit 2 copies.
- (iv) The request for a declaration should be sent to the following address:

Planning Department,  
Economic Development Directorate,  
Clare County Council  
Aras Contae an Chlair,  
New Road,  
Ennis,  
Co. Clare  
V95DXP2

- (v) Notwithstanding the completion of the above form, the Planning Authority may require the submission of further information with regard to the request in order to enable the Authority to issue a declaration on the question.
- (vi) The Planning Authority may also request other persons to submit information on the question which has arisen and on which the declaration is sought

### **FOR OFFICE USE ONLY**

Date Received: .....	Fee Paid: .....
Date Acknowledged: .....	Reference No.: .....
Date Declaration made: .....	CEO No.: .....
Decision: .....	



REGISTERED BUILDING SURVEYORS  
REGISTERED QUANTITY SURVEYORS  
PLANNING CONSULTANTS  
ARCHITECTURAL DESIGN

t: 087 – 976 5226

e: [padraig@pndconsultancy.com](mailto:padraig@pndconsultancy.com)

BUILDING CONSULTANCY

KILRUSH HOUSE, FRANCES ST, KILRUSH, CO. CLARE, IRELAND

PND Building Consultancy Ltd.,  
Kilrush House,  
Frances Street,  
Kilrush,  
Co. Clare.

April 2025

Planning Department,  
Economic Development Directorate,  
Clare County Council,  
Áras Contae an Chláir,  
New Road,  
Ennis,  
Co. Clare.

**REQUEST FOR A DECLARATION ON DEVELOPMENT AND  
EXEMPTED DEVELOPMENT  
(Section 5 of the Planning & Development Act 2000)**

A Chara,

Please find enclosed all relevant documentation for this application on behalf of  
**Tommy Hehir @ Cullenagh, Labasheeda, Kilrush, Co. Clare.**

Mise le meas,

Pádraig Neyton  
B. Sc. (Surveying) MCIOB  
Registered Building Surveyor

**Note:**

All correspondence in relation to the above application to be sent to –  
Tommy Hehir  
C/o - PND Building Consultancy Ltd.  
Kilrush House, Frances Street, Kilrush, Co. Clare. V15 CH68



Surveyed 1840-1841  
Revised 1917-1919  
Levelled 1895-1898

# Record PLACE Map



ITM CENTRE PT COORDS.

515002,652865

DESCRIPTION

MAP SHEETS

6 Inch  
LK009 CE068  
CE069+07



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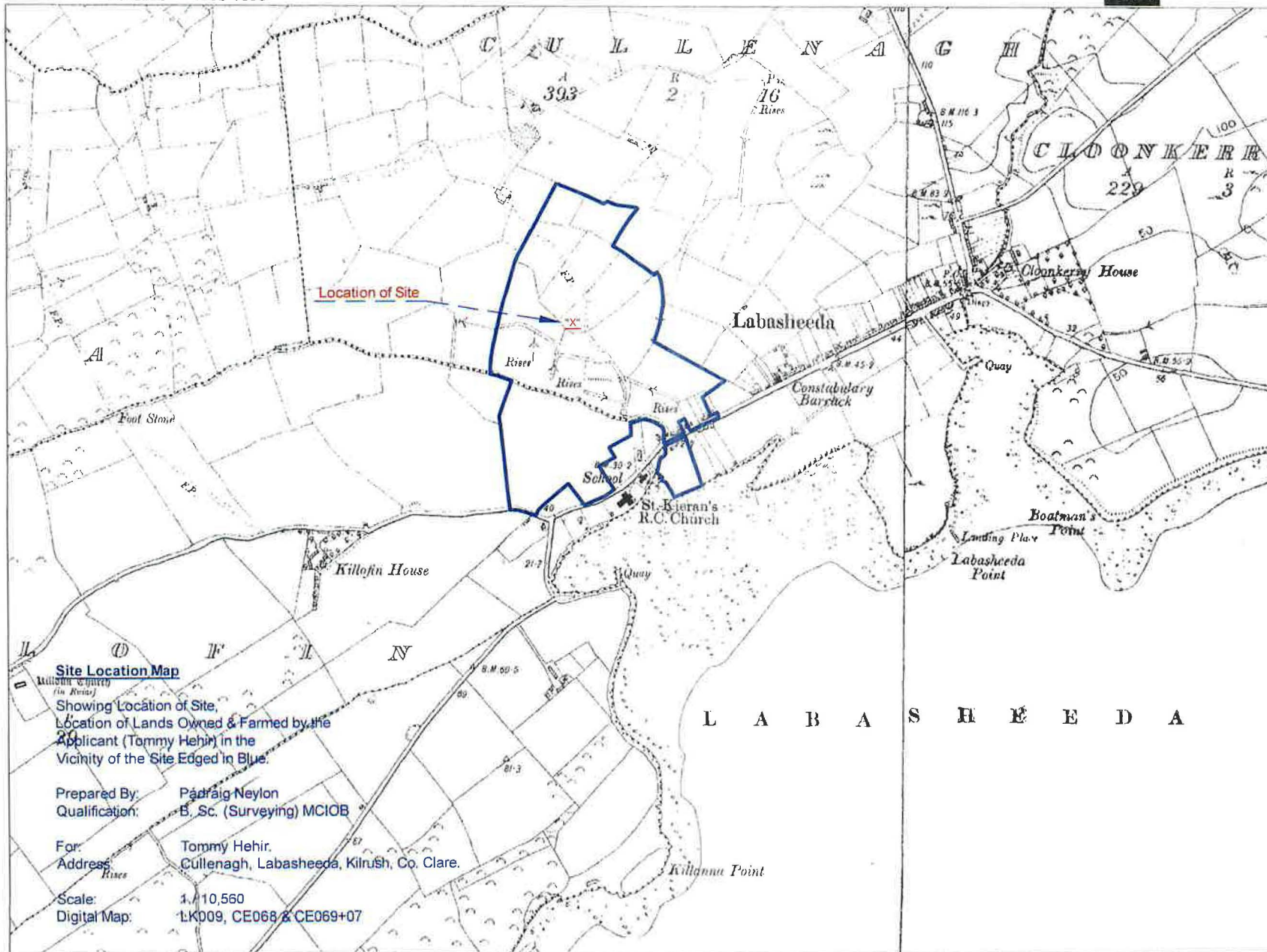
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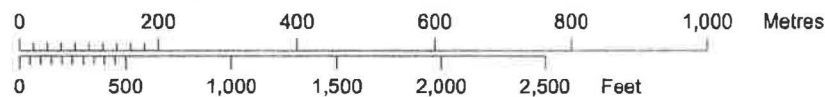


## Site Location Map

Showing Location of Site,  
Location of Lands Owned & Farmed by the  
Applicant (Tommy Hehir) in the  
Vicinity of the Site Edged in Blue.

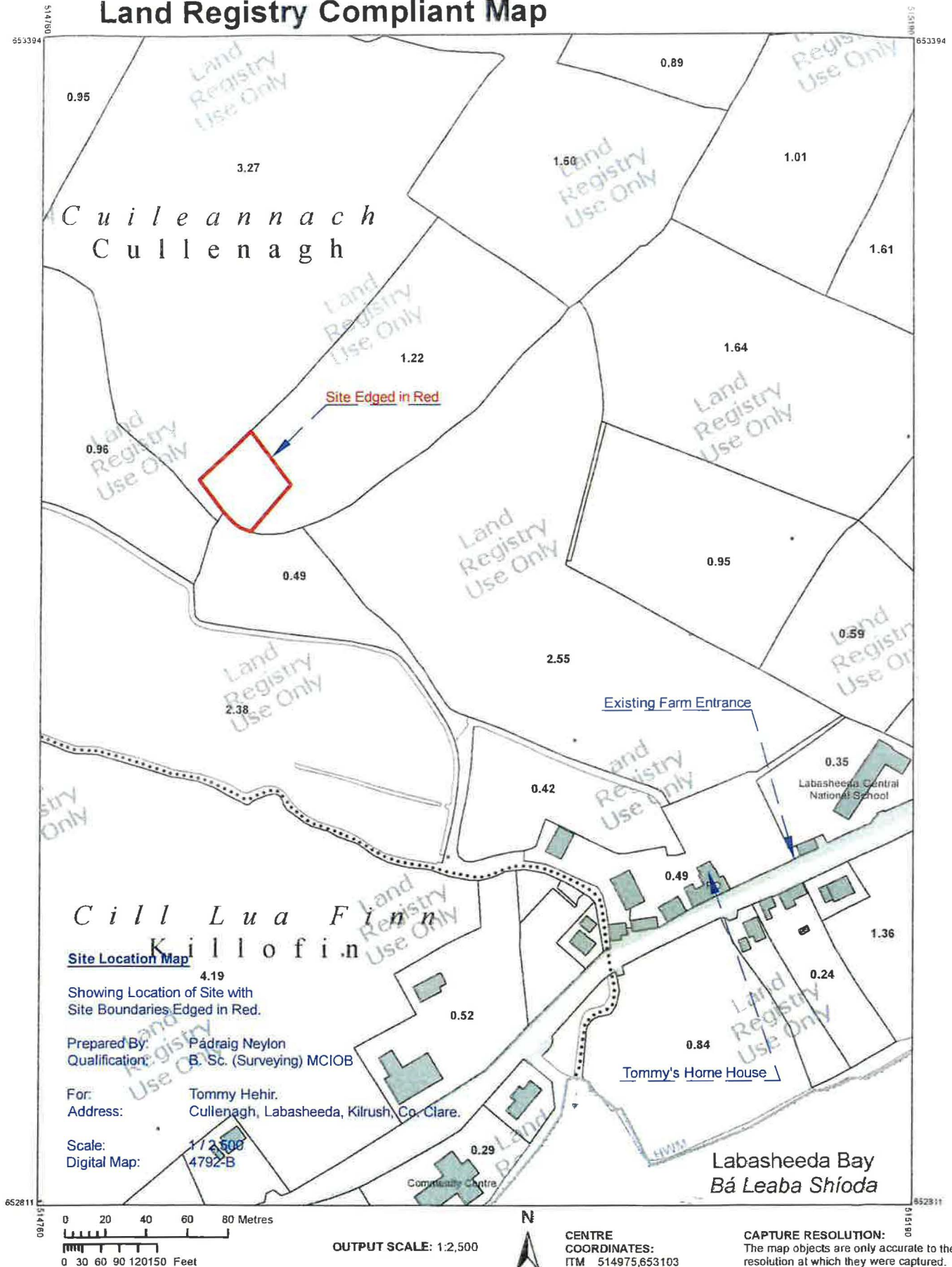
Prepared By: Pádraig Neylon  
Qualification: B. Sc. (Surveying) MCIOR  
For: Tommy Hehir,  
Address: Cullenagh, Labasheeda, Kilrush, Co. Clare.  
Scale: 1:10,560  
Digital Map: LK009, CE068 & CE069+07

Scale:- 1:10,560  
Scála:- 1:10,560



Plot Ref. No. 19703372\_1  
Plot Date 07-JAN-2016

# Land Registry Compliant Map



## Site Location Map

Showing Location of Site with Site Boundaries Edged in Red.

Prepared By: Pádraig Neylon  
Qualification: B. Sc. (Surveying) MCIQB

For: Tommy Hehir.  
Address: Cullenagh, Labasheeda, Kilrush, Co. Clare.

Scale: 1:2,500  
Digital Map: 4792-B

OUTPUT SCALE: 1:2,500

CENTRE COORDINATES:  
ITM 514975,653103

PUBLISHED: 14/04/2025  
ORDER NO.: 50460672\_1

MAP SERIES: 1:2,500  
MAP SHEETS: 4792-B

**CAPTURE RESOLUTION:**  
The map objects are only accurate to the resolution at which they were captured. Output scale is not indicative of data capture scale. Further information is available at: [www.tailte.ie](http://www.tailte.ie); search 'Capture Resolution'

**LEGEND:** To view the legend visit [www.tailte.ie](http://www.tailte.ie) and search for 'Large Scale Legend'

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**Tailte Éireann**





An Roinn Talmhaíochta,  
Bia agus Mara  
Department of Agriculture,  
Food and the Marine

For Basic Payment Scheme,  
Areas of Natural Constraint Scheme and  
other Area-Based Schemes Purposes only  
Year: 2020 Scale: 1:5000

Name: Thomas Hehir  
Address: Labasheeda  
Kilrush  
Co Clare

Townland Code: C16905  
Townland Name: CULLENAGH

Parcel	Digitised	MEA*	Claimed
C16905057	0.82	0.82	0.78
C16905140	11.63	11.45	11.32
C16905141	0.12	0	0.00
C16905142	0.04	0	0.00

Exclusions	Parcel	Excl	Area	Red%	Elig	Type
	C16905140	X01	0.115	100%	0.01	Farm Flood
	C16905140	X04	0.026	100%	0.00	Farm Road
	C16905140	X05	0.03	40%	0.02	Farm Track
	C16905140	X06	0.025	100%	0.00	Stream
	C16905142	X01	0.029	100%	0.00	Building

Townland Code: C16907  
Townland Name: KILLFIN

Parcel	Digitised	MEA*	Claimed
C16907055	4.20	4.20	4.25

Exclusions					
Parcel	Excl	Area	Red%	Elig	Type
C16907055	X01	0.019	100%	0.00	Stream

Ortho Used: Cadastre Ortho Full Coverage

All areas displayed above are in hectares  
\* MEA calculation available online via aglood.ie  
01/01/2001 © Bluesky International Ltd. 2017  
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C 1 6 9 0 0 2 5

C1690025 2 of 2 - Tue Dec 01 20:42:45 GMT 2020







An Roinn Talmhaíochta,  
Bia agus Mara  
Department of Agriculture,  
Food and the Marine

For Basic Payment Scheme,  
Areas of Natural Constraint Scheme and  
other Area-Based Schemes Purposes only  
Year: 2020 Scale: 1:5000

Name: Thomas Hehir

Address:  
Labasheeda  
Kilrush  
Co Clare

Townland Code: C16911  
Townland Name: MOUNTSHANNON EAST

Parcel	Digitised	MEA*	Claimed
C16911015	0.06	0	0.00
C16911041	0.24	0	0.00
C16911054	13.92	13.84	13.82
C16911062	6.23	6.16	6.16

Exclusions	Parcel	Excl	Area	Red%	Elig	Type
	C16911054	X01	0.058	100%	0.00	Farm Road
	C16911054	X03	0.077	100%	0.00	Farm Road
	C16911054	X04	0.091	40%	0.06	Farm Track
	C16911062	X01	0.057	100%	0.00	Farm Road

Ortho Used: Cyclor Ortho Full Coverage

All areas displayed above are in hectares  
\* MEA calculation available online via aglood.ie  
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C 1 6 9 0 0 2 5

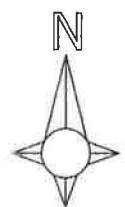
C1690025 1 of 2 - Tue Dec 01 20:42:37 GMT 2020





Proposed Relocated House  
Crossed P.L.L. =  
100.00m  
Joining Proposed  
Area 100.00m

Proposed Site Edited in Red



From OS Digital Map  
No.: 4792-B

255.5m to Nearest Dwelling House

Previous Location of Proposed  
Relocated House as per P/21/51/02  
shown in green  
Please Note during the depth of  
excavation required for this  
site it was discovered that the  
existing ground was uneven  
and was not suitable for the  
proposed construction

Existing Machinery/Storage  
Shed

Existing Farm Entrance

Tommy's Horse House

Existing Paved  
House

# Site Layout Plan

Site Area = 0.293 acres  
0.119 ha

(C) Copyright - Drawings for Discussion Purposes Only

**Title -** Proposed Relocated Site Layout Plan

**Client -** Toomy Hehir

**Scale -** 1:1250

ATLANTIC BUILDING CONSULTANTS LTD.  
(Incorporating PND Building  
Consultancy & Tubridy Engineering)  
Unit 1 Digital Hub, Merchants Quay  
Business Quarter, Frances Street,  
Kilrush, Co. Clare.  
Tel: 087 976 5226  
Email: padraig.neylon@atlanticbc.ie

P/21/51/SL/02

Rev-01

17.01.25

**Project -** Proposed Relocated Agricultural Development

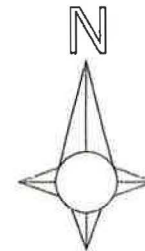
**Address -** Cullinagh, Labasheedy, Kilrush,  
Co. Clare

**Size -** A3

A B C



Site Area = 0.293 acres  
0.119 ha



Proposed Slatted  
House  
Proposed F.F.L. =  
100.300m.  
Existing Ground  
Level 100.000m



Proposed Site Edged in Red

Existing Farm Road

# Site Layout Plan

From OS Digital Map  
No.: 4792-B

(C) Copyright - Drawings for Discussion Purposes Only

**Title -** Proposed Relocated Site Layout Plan

**Client -** Toomy Hehir

**Scale -** 1:500

**Project -** Proposed Relocated Agricultural Development

**Address -** Cullenagh, Labasheeda, Kilrush,  
Co. Clare.

**Size -** A3

ATLANTIC BUILDING CONSULTANTS LTD.  
(Incorporating PND Building  
Consultancy & Tubridy Engineering)  
Unit 1 Digital Hub, Merchants Quay  
Business Quarter, Frances Street,  
Kilrush, Co. Clare.  
Tel: 087 976 5226  
Email: padraig.neylon@atlanticbc.ie

P/21/51/SL/01

Rev-01

17.01.25

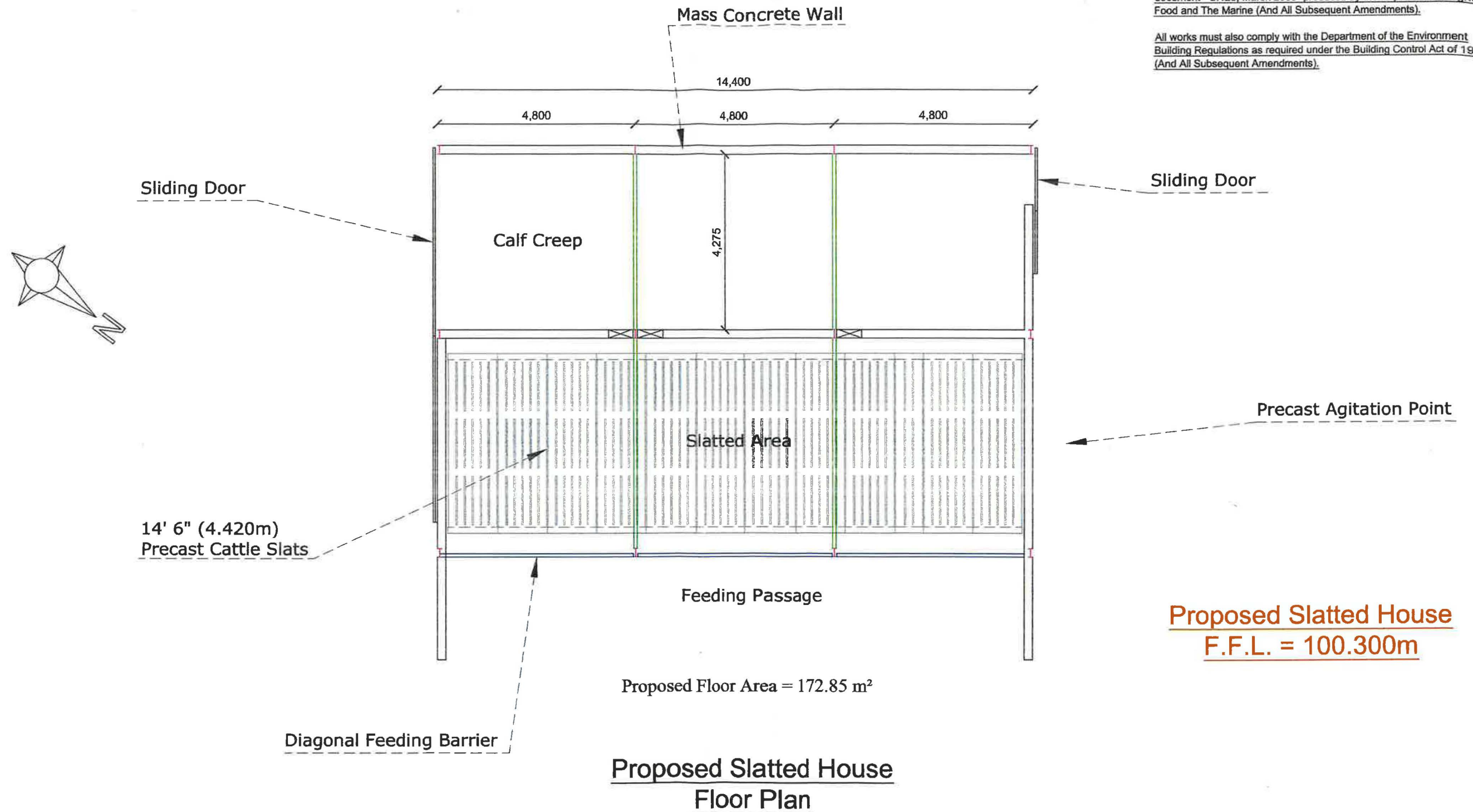
A B C

Specifications for Proposed Works.

Note -

All works to comply with Farm Building and Structure Specifications S100 to S171 and Accepted Concrete Slat List (November 2015) including the "Minimum Specification for Bovine Livestock Units and Reinforced Tanks" document - S.123, March 2006" produced by the Department of Agriculture, Food and The Marine (And All Subsequent Amendments).

All works must also comply with the Department of the Environment Building Regulations as required under the Building Control Act of 1997 (And All Subsequent Amendments).



**Proposed Slatted House**  
**F.F.L. = 100.300m**

(C) Copyright  
Drawings for Planning Purposes Only



Page Title:  
Proposed Floor Plan

Project:  
Proposed Agricultural  
Development

Client:  
**Tommy Hehir,  
Cullenagh, Labasheeda,  
Kilrush, Co. Clare.**

Org. No.  
P / 21 / 51 / 01

Drawn by: PND BUILDING CONSULTANCY LTD.  
Registered Building Surveyors & Quantity Surveyors  
Kilrush House, Frances Street, Kilrush, Co. Clare.  
Tel: 087 976 5226, Email: padraigneylompnd@gmail.com

Date:  
07 / 04 / 2025

Scale:  
1 : 100



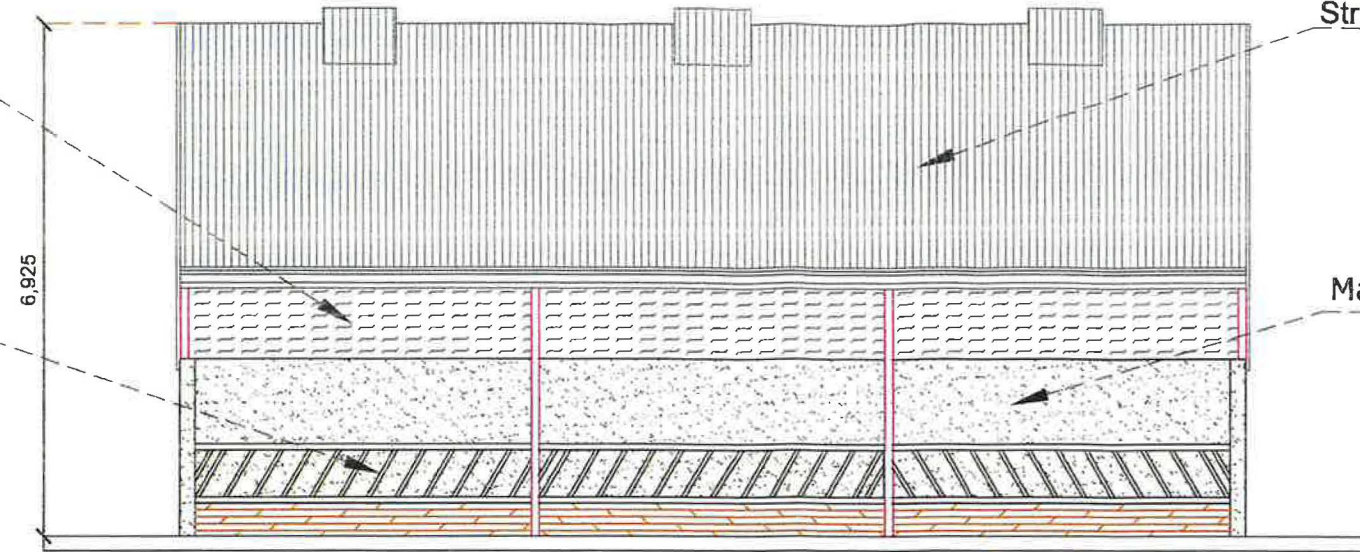


Rear Sheeting to comply with Department of Agriculture, Food and the Marine - Building and Structure Specifications

Roof Sheeting to comply with Department of Agriculture, Food and the Marine - Building and Structure Specifications

Diagonal Feeding Barrier

Mass Concrete Wall

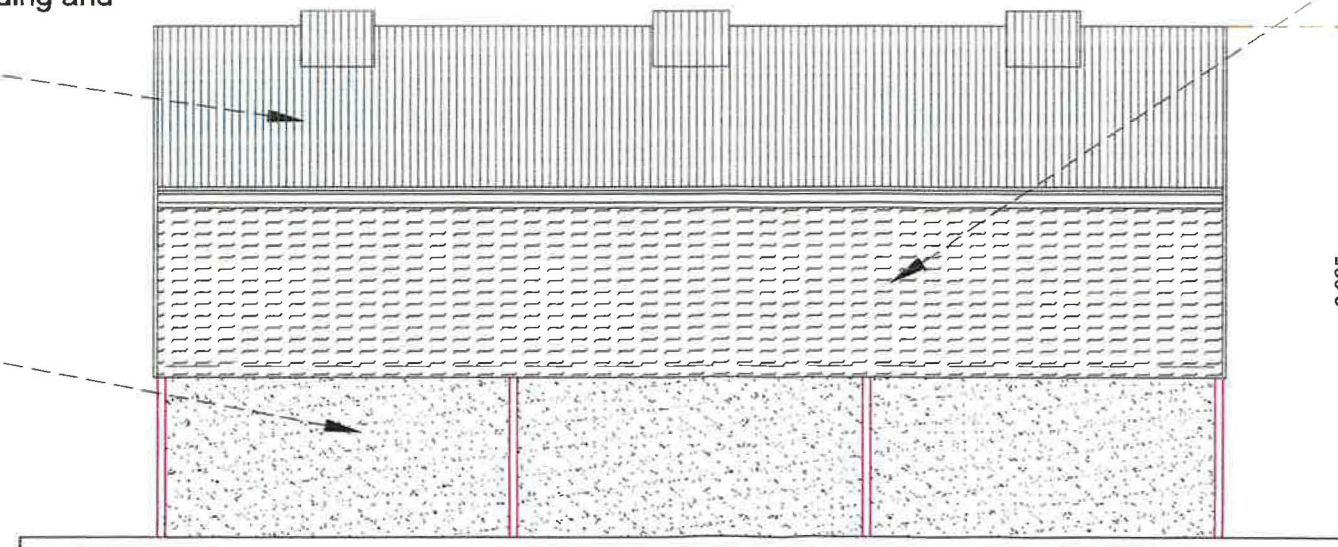


Proposed North East Elevation

Roof Sheeting to comply with Department of Agriculture, Food and the Marine - Building and Structure Specifications

Rear Sheeting to comply with Department of Agriculture, Food and the Marine - Building and Structure Specifications

Mass Concrete Wall



Proposed South West Elevation

Specifications for Proposed Works.

Note -  
All works to comply with Farm Building and Structure Specifications S100 to S171 and Accepted Concrete Slat List (November 2015) including the "Minimum Specification for Bovine Livestock Units and Reinforced Tanks" document - S.123, March 2006" produced by the Department of Agriculture, Food and The Marine (And All Subsequent Amendments).

All works must also comply with the Department of the Environment Building Regulations as required under the Building Control Act of 1997 (And All Subsequent Amendments).



Indicates Steel Stanchions to Engineers Specification

(C) Copyright  
Drawings for Planning Purposes Only



Page Title:  
**Proposed Front & Rear Elevations**

Project:  
**Proposed Agricultural Development**

Client:  
**Tommy Hehir,  
Cullenagh, Labasheeda,  
Kilrush, Co. Clare.**

Drg. No.  
P / 21 / 51 / 02

Drawn by: **PND BUILDING CONSULTANCY LTD.**  
Registered Building Surveyors & Quantity Surveyors  
Kilrush House, Frances Street, Kilrush, Co. Clare.  
Tel: 087 976 5226 Email: padraigneylonpnd@gmail.com

Date:  
07 / 04 / 2025

Scale:  
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### Specifications for Proposed Works.

Note -  
All works to comply with Farm Building and Structure Specifications S100 to S171 and Accepted Concrete Slat List (November 2015) including the "Minimum Specification for Bovine Livestock Units and Reinforced Tanks" document - S.123, March 2006" produced by the Department of Agriculture, Food and The Marine (And All Subsequent Amendments).

All works must also comply with the Department of the Environment Building Regulations as required under the Building Control Act of 1997 (And All Subsequent Amendments).

#### Roof

Corrugated P.V.C. cladding installed on the roof & Corrugated P.V.C. cladding to be installed on the side (Vented P.V.C. side cladding to be installed where applicable) all in compliance with Specification S.102 and shall be fixed as per manufacturer's instructions on 175 x 75mm steel purlins on steel cantilever rafters. All to engineer's specification.

#### Walls

Minimum 225mm reinforced mass concrete foundations to engineer's specification

#### Floor Slats (Suspended)

Suspended reinforced mass concrete floor slats to engineer's specification. Walls over tanks shall NOT be built directly onto slats under any circumstances.

(Section 2.9 - Minimum specification for Bovine Livestock Units and reinforced tanks, Department of Agriculture, Food and The Marine and Accepted Concrete Slat List - November 2015)

#### Note:

All works to comply with Farm Building and Structure Specifications including the "Minimum Specification for Bovine Livestock units and reinforced tanks" document - S.123, March 2006" produced by the Department of Agriculture, Food and The Marine.

Permanent open ventilation shall be provided, as specified in Specification S101, as a strict condition of grant-aid, in order to protect animal health and the working life of the structure. Full ventilation shall also be provided in any conversion or extension of existing buildings. Spaced sheeting for the roof is strongly recommended, and shall be installed as per S101.

The general superstructure of the building shall be constructed to the current edition of Specification S101: Minimum Specification for the Structure of Agricultural Buildings. The use of a Simple Steel Frame Structure as specified in S101, is the strongly recommended option for cattle housing. Houses may also be built to the other designs given in S101. If trusses are being installed, they require a high standard of protection and ongoing maintenance in the aggressive livestock environment.

Side Sheeting to comply with Department of Agriculture, Food and the Marine - Building and Structure Specifications

Roof Sheeting to comply with Department of Agriculture, Food and the Marine - Building and Structure Specifications

Mass Concrete Wall

Sliding Door

Calf Creep

Steel Stanchions securely fixed to Reinforced Concrete Pad

Reinforced Concrete Tank to comply with Department of Agriculture, Food and the Marine - Building and Structure Specifications

#### Feeding Passage

This shall be solid or suspended as the design dictates. In the former case it shall consist of a 125mm concrete slab laid on 150mm compacted hardcore on solid foundation incorporating 1000 gauge polythene DPC. Suspended passages shall be constructed as per clause 11.4 mass concrete tank cover, or shall comply with clause 11.7 if precast. In new buildings the minimum width of a central passage shall be 4.0m. It is recommended that the central feed passage in an animal house be, at least, 5.5m wide. Where animals are being feed silage at both the front and back of animal pens a strip of concrete, at least, 2 metre wide shall be provided along the feed face at the back of the pen in addition to the feeding passage at the front of the animal pen. In single-sided houses a concreted feed passage of at least 2 metres wide shall be provided at the front of the animal pens in all cases.

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Indicates Steel Stanchions  
to Engineers Specification



Page Title:  
Proposed Section

Project:  
Proposed Agricultural  
Development

Client:  
**Tommy Hehir,  
Cullenagh, Labasheeda,  
Kilrush, Co. Clare.**

Drg. No.  
P / 21 / 51 / 04

Drawn by: PND BUILDING CONSULTANCY LTD.  
Registered Building Surveyors & Quantity Surveyors  
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Date:  
07 / 04 / 2025

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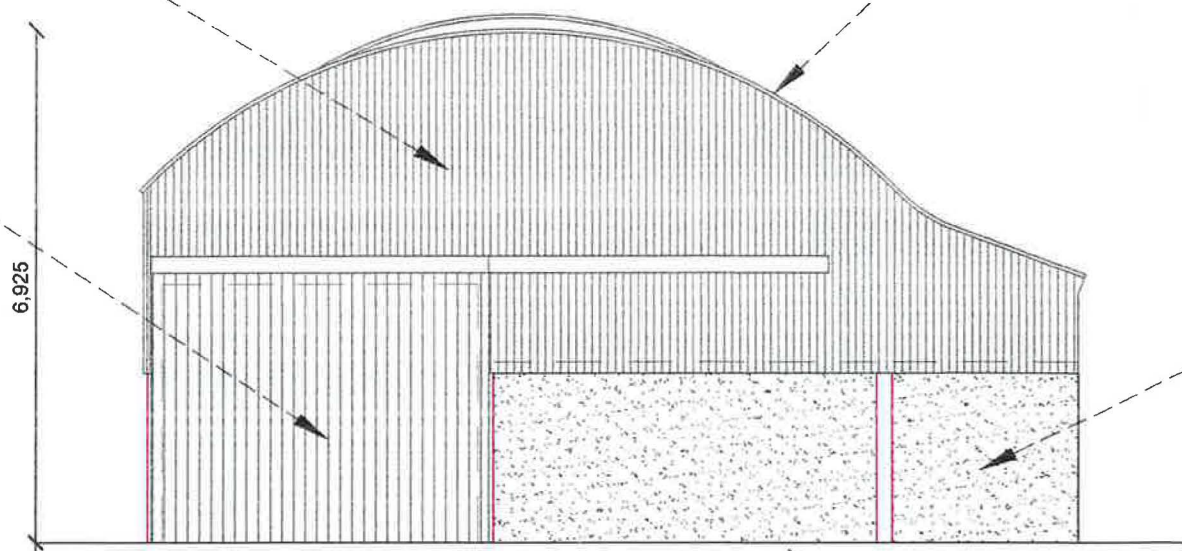




Side Sheeting to comply with Department of  
Agriculture, Food and the Marine - Building and  
Structure Specifications

Roof Sheeting to comply with Department of  
Agriculture, Food and the Marine - Building and  
Structure Specifications

Sliding Door



Reinforced Concrete Tank to  
comply with Department of Agriculture,  
Food and the Marine - Building and  
Structure Specifications

4,120

2,700

## Proposed South East Elevation

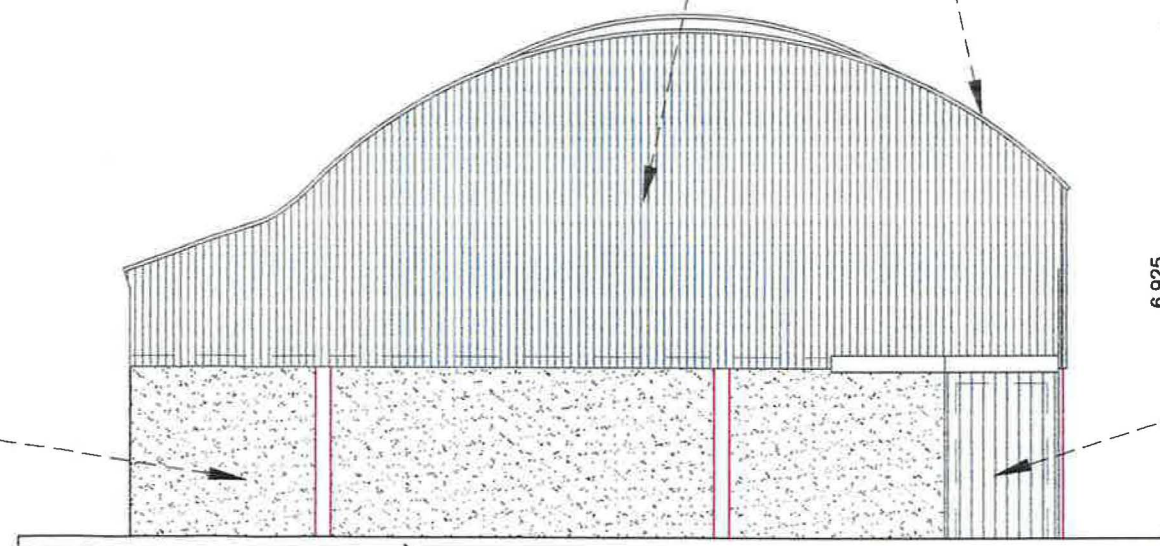
### Specifications for Proposed Works.

#### Note -

All works to comply with Farm Building and Structure Specifications S100 to S171 and Accepted Concrete Slat List (November 2015) including the "Minimum Specification for Bovine Livestock Units and Reinforced Tanks" document - S.123, March 2006" produced by the Department of Agriculture, Food and The Marine (And All Subsequent Amendments).

All works must also comply with the Department of the Environment Building Regulations as required under the Building Control Act of 1997 (And All Subsequent Amendments).

Mass Concrete Wall



Sliding Door

6,925

Reinforced Concrete Tank to  
comply with Department of Agriculture,  
Food and the Marine - Building and  
Structure Specifications

4,120

2,700

## Proposed North West Elevation

Indicates Steel Stanchions  
to Engineers Specification

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Page Title:  
Proposed Side  
Elevations

Project:  
Proposed Agricultural  
Development

Client:  
**Tommy Hehir,  
Cullenagh, Labasheeda,  
Kilrush, Co. Clare.**

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P / 21 / 51 / 03

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